

## Professional Guidance and a Framework

**OUR MISSION STATEMENT** - To promote, attract and retain business development for the betterment of the Plymouth area while preserving and enhancing our unique heritage and harmony with the surrounding environment.

Plymouth Economic Development has been working with professionals to outline a Long Term Plan for the economic development of the City of Plymouth and the Plymouth area. It is a phased plan.

### The Steps are:

- Finding the funds,
- Getting input from citizens, building owners and business owners and other stakeholders
- Developing the plans
- Implementing the plans

### The Framework is:

- Define the Plymouth Economic Development as an entity.
- Use the “Main Street” program, a part of the National Historic Trust, as a model.
- Use basic “Main Street” principals and suggestions

### The Professionals are:

**Circa: Historic Property Development** [www.circahistoricproperty.com](http://www.circahistoricproperty.com)

### Initial Draft Potential Scope of Services:

Circa: Historic Property Development and Garavaglia Architecture, Inc. have identified several logical steps related to the desired revitalization efforts for the City of Plymouth. Our recommended scope is not limited to the proposed tasks but is presented as a springboard of concepts for further refinement. These tasks are not intended to sub-plant or void any previous efforts but to review and organize the information to move forward toward desired goals in a fashion that maximizes revitalization program benefits. These proposed tasks are as follows:

**Initial Evaluation:** This task includes the assessment of different parties within the community regarding readiness for progress generally following the basic Main Street program format. This would require the City to provide some initial documentation and "homework".

**Organization:** Development of recommendations for organizing the revitalization program to evolve from vision-to-goal.

**Training:** Training for each of the recommended four (4) committees to understand what they need and how their efforts relate to the larger mission.

**Strategic Planning:** Facilitation of an envisioning workshop utilizing a S.W.O.T (Strength, Weakness, Opportunity, Threat) analytical approach.

**On-going Consultation:** On-going consultation. Up to four hours per month per committee.

**Additional Services:**

- Facade Improvement program/design guidelines
- Streetscape implementation
- Preservation Ordinance
- Feasibility studies
- Historic context/historic resource survey/CA/NR register listing
- Economic development planning (tourism ?)
- Funding identification/review

Sheila McElroy of Circa Historic Property Development, has specialized in the rehabilitation of historic structures and downtown revitalization programs that reinvigorate the heart of a community. This includes feasibility studies, resource surveys, evaluations, and **identification of funding sources**.

20+ years of historic preservation and architectural research, management and design-related experience with profit and non-profit corporations, including eight years of experience as a regional Executive Director for Main Street towns for the National Historic Trust **Main Street program**, one of the **most successful economic development strategies** in the nation to work for local commercial district.

Her responsibilities have included historic research, adaptive re-use, streetscape analysis, design assistance, and identification of funding resources.

She works closely with local community development and planning departments, and historic commissions on issues of preservation planning, consistent with the Secretary of the Interior Standards, and historic resource development on a variety of projects.

***Garavaglia Architecture, Inc., Historic Architect, AIA*** [www.garavaglia.com](http://www.garavaglia.com)

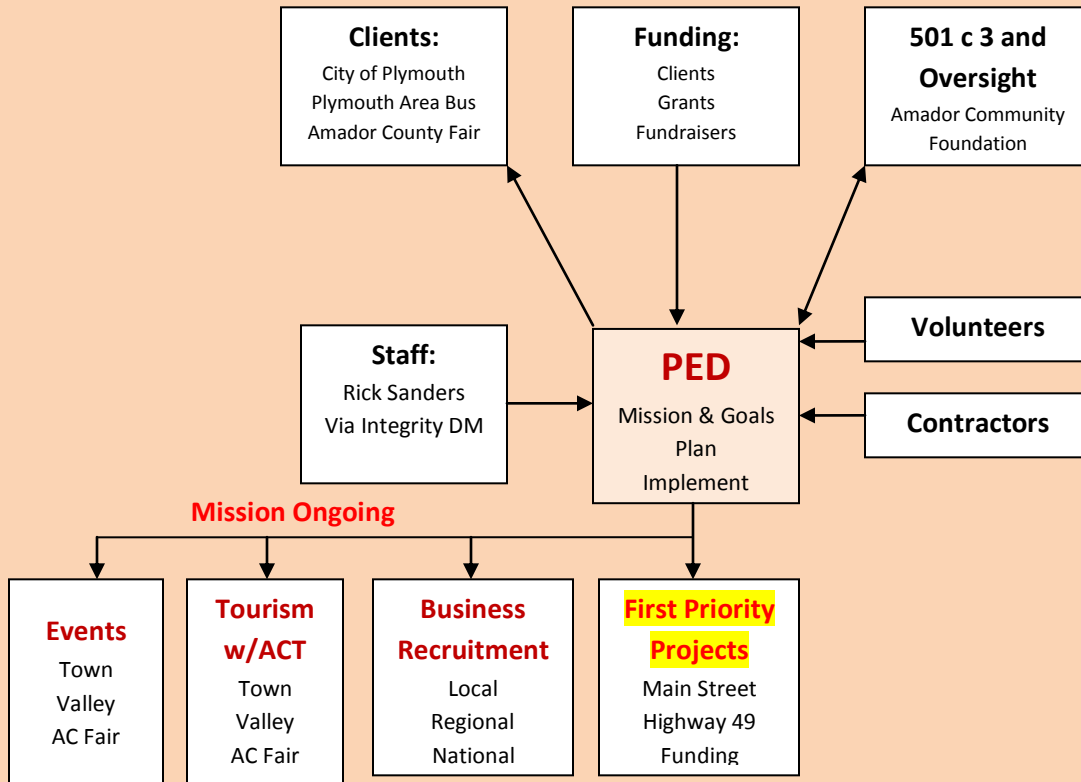
California Preservation Foundation Board of Trustees.

Michael is the founding principal of Garavaglia Architecture, Inc., an award-winning San Francisco firm, specializing in historic preservation, downtown revitalization, commercial, and residential projects.

His commitment to historic preservation issues includes active participation with various historical and preservation organizations.

Michael works **extensively with several historic preservation organizations in Amador County** including the Fiddletown Chinese buildings (recently won the Governor's Award for a Historic Project) and the Knight Foundry in Sutter Creek.

# Plymouth Economic Development (PED) Structure



## California Main Street Alliance - 8 Guiding Principals

These are the right guiding principals of the Main Street Approach<sup>®</sup>

1. **Comprehensive** A single project cannot revitalize a neighbourhood business district. An ongoing series of initiatives is vital to build community support and create lasting progress.
2. **Incremental** Small projects make a big difference. They demonstrate that "things are happening" on Main Street and hone the skills and confidence the program's stakeholders will need to tackle more complex projects.
3. **Self-Help** The District can provide valuable direction and technical assistance, but only local leadership can breed long-term success by fostering and demonstrating community involvement and commitment to the revitalization effort.
4. **Public/Private Partnership** Every local Main Street program needs the support and expertise of both the public and private sectors. For an effective partnership, each must recognize the strengths and weaknesses of the other.
5. **Identifying and Capitalizing on Existing Assets** Unique offerings and local assets provide the solid foundation for a successful Main Street initiative.
6. **Quality** From storefront design to promotional campaigns to special events, quality must be instilled in the organization.
7. **Change** Changing community attitudes and habits are essential to bring about a commercial district renaissance. A carefully planned Main Street program will help shift public perceptions and practices to support and sustain the revitalization process.
8. **Action Oriented** Frequent visible changes in the look and activities of the commercial district will reinforce the perception of positive change. Small, but dramatic improvements early in the process will remind the community that the revitalization effort is underway.